



Daffy Lane, Crayke, York £1,200 Per Month

Stephensons are pleased to offer for rent this sizeable 3/4 bedroom detached property on a working farm located on the outskirts of the popular rural village of Crayke only a few minutes drive from Easingwold. Offered for rent either part furnished or unfurnished, with garden and off street parking and early viewing is strongly advised.

AGENT NOTE: This property is subject to an Agricultural Occupancy Clause.



The property is entered via a paneled front door into a small porch, which in turn leads into an inner hallway with access off to the property's kitchen and reception rooms. The modern kitchen dinner is a good size, and boasts a range of wall and base units, integrated dishwasher, fridge freezer, and oven with four ringed electric hob. There is also an ample dining area and large freestanding kitchen dresser unit for extra storage.



The principal reception room is a large triple aspect living room with feature log burning stove and patio doors leading out to the rear garden. There is also a second reception room or ground floor bedroom to the front elevation, which has a ground floor shower room leading off it. The ground floor shower room briefly comprises a large walk-in shower, pedestal wash basin, low flush wc and heated towel rail.



To the first floor are three well proportioned double rooms and a house bathroom. The master bedroom is a large double to the rear elevation with built in wardrobes, with bedrooms two and three, further large doubles boasting far reaching countryside views from the large uPVC double glazed windows to the front elevation.

Completing the first floor accommodation is a modern house bathroom, briefly comprising a walk-in shower, panelled bath, pedestal wash basin, low flush wc and heated towel rail.

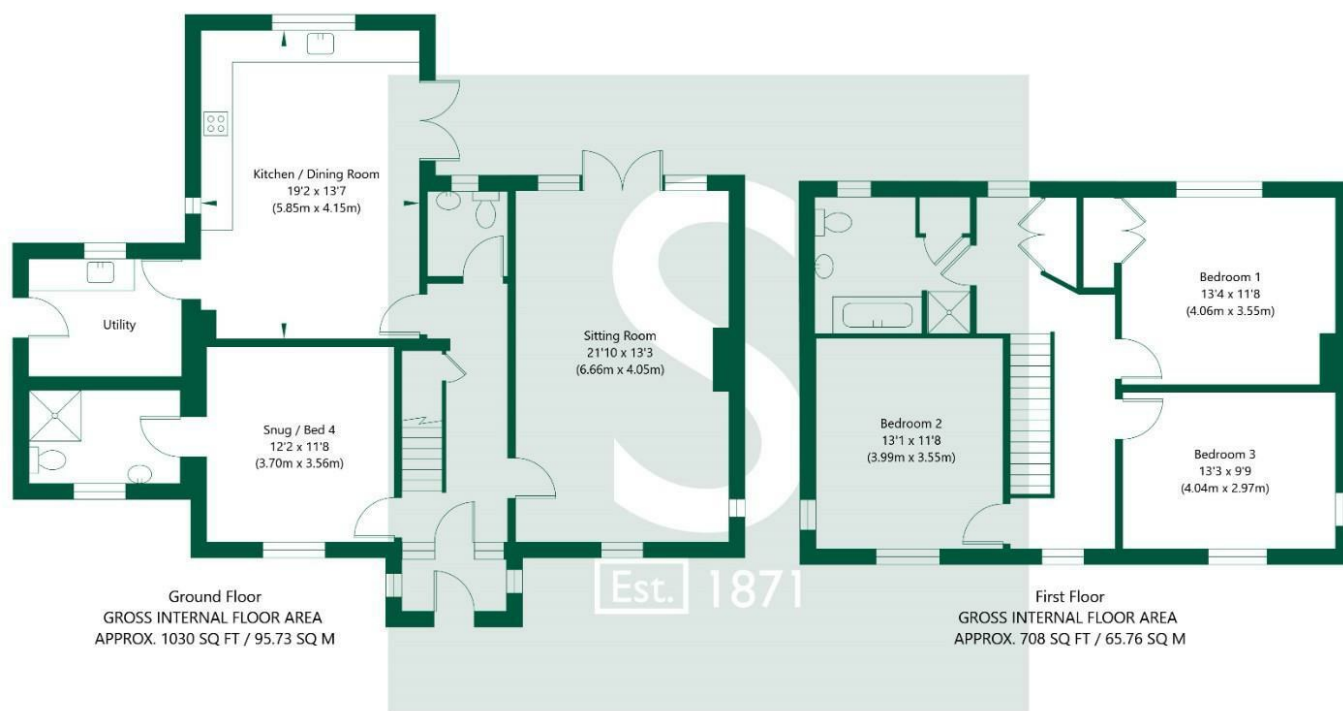
To the outside the property comes with ample off street parking for 2-3 cars to the side of the property, with a private rear garden which is mainly laid to lawn.



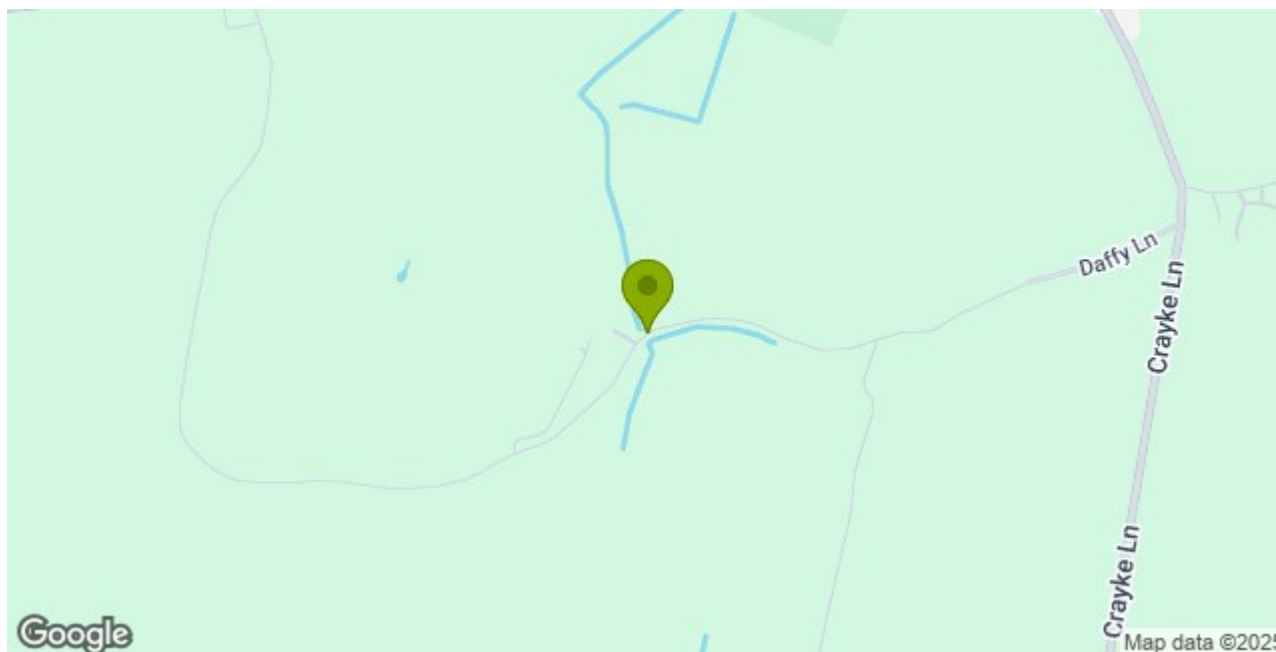
Services: Oil fired central heating, solar thermal water heating, mains electric and water. Septic tank.



Daffy Lane, Crayke, York, YO61 4TH



NOT TO SCALE - FOR ILLUSTRATIVE PURPOSES ONLY
 APPROXIMATE GROSS INTERNAL FLOOR AREA 1738 SQ FT / 161.49 SQ M
 All Measurements and fixtures including doors and windows are approximate and should be independently verified.
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Stephensons

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